



ELVEDEN HEIGHTS
ESTATES

Community Design Guidelines
February 2013

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VISION

Elveden Heights Estates is an enclave of 8 luxury lots adjacent to Elveden Estates in the Springbank Hill community. This enclave of upscale homes will establish elegance and an expression of quality portrayed throughout the area.

Strong design guidelines will ensure an overall essence of quality is recognized throughout Elveden Heights Estates with particular attention paid to the exceptional execution of well-detailed exteriors. The guidelines will offer the opportunity to be unique while ensuring sensitive compatibility throughout the development.

Residents are able to choose from strongly established North American architectural styles to suit their individual tastes. Architectural style choices drawing on characteristics from the **Craftsman**, **Prairie**, and **Transitional** styles will be predominant in Elveden Heights Estates. Adapting the traditional styles of Craftsman and Prairie with clean neat details will provide Elveden Heights Estates with a solid, stable visual base that will be energized by the varying styles. Maintaining a compatibility of overall massing and roof forms will unify the development while encouraging unique detailing and features. This will present Elveden Heights Estates with a distinctive advantage.

OBJECTIVE

These guidelines provide an overview of the minimum house design requirements for Elveden Heights Estates. The guidelines are intended to provide inspiration and a strong direction yet offer flexibility to accommodate today's homebuyer. The objective is to ensure that the quality and integrity of the community is initially well established and ultimately maintained throughout.



SITE DESIGN ELEMENTS

The siting of all homes in a community contributes immeasurably to the overall success of each streetscape. Ensuring that the relationships between homes are of a compatible nature and that the front façade of each home is fully presented to the street is of prime importance. Homes are to be designed to take advantage of all the characteristics of each lot. Lot slopes, views, and orientation to the street and/or adjacent homes are to be considered in the overall design. The natural topography of the Elveden Heights Estates requires that particular attention be directed to designing homes that suit the lot grading. Following is an outline of requirements that will influence the design of homes in Elveden Heights Estates. The Developer and/or its consultant will use these guidelines as a base reference standard and reserves the right to deviate as they determine appropriate.

Minimum House Sizes

Minimum house sizes are established to ensure each home in the community provides a compatible presence with adjacent homes. The minimum floor area is the total floor area above grade. Developed basements, lower levels, garages, porches and decks are not included in this area.

Bungalows – 2000 sq.ft. main floor

Two – storey – 1500 sq.ft. main floor (2800 sq.ft. minimum total)

Building Setbacks

In Elveden Heights Estates the developer has determined minimum setbacks that will address the prestigious nature of the houses in enclave. Ensuring adequate setbacks that enhance the overall esthetics of the homes is considered paramount. Front setbacks will be varied along the street with houses with greater massing requiring greater setback in order to soften the streetscape and be less overbearing.

Front Setback

The minimum front building setback will be 6.0 M from the front property line.

Sidyard Setback

The minimum sidyard setbacks are required to be 1.5M.

Other Setbacks

All other setbacks in Elveden Heights Estates will meet the minimum City of Calgary By-law requirements.

Minimum House Width

Homes in Elveden Heights Estates are required to reasonably fill the lot width provided and project the maximum decorative front façade to the street. Filling the lot width with an offset to the garage will require appropriate exterior treatment to all exposed walls and an appropriate connection to upper floor areas. The Developer and/or its consultant will review all submissions for acceptable utilization of the lot and massing of the home and may approve or reject homes that may or may not be deemed adequate.

Maximum Building Height

The maximum building height will be established by the by-law requirements of the City of Calgary.

Grading/Drainage

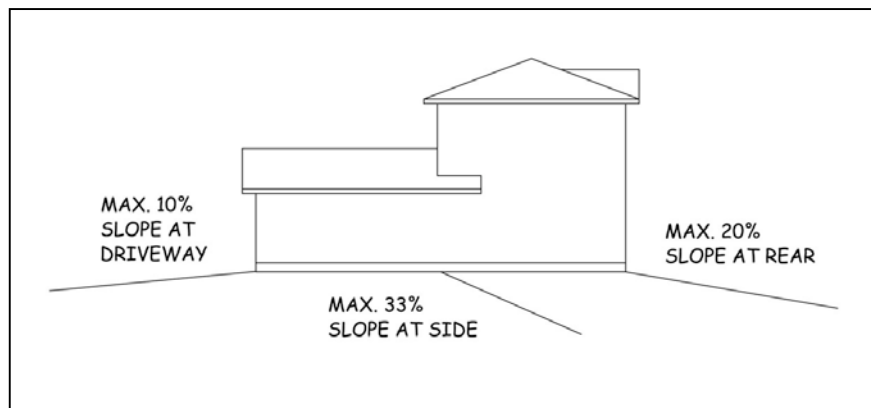
The natural topography of the land has created some varied and significant grading aspects on the lots of Elveden Heights Estates. These varied aspects require that the design of each home be tailored to suit the lot grading. Proper lot grading will ensure good drainage away from building and away from the site through an appropriate drainage pattern. All lots are to be graded in such a way that surface drainage from rainstorms, snowmelt or groundwater is directed away from the buildings and is controlled in a manner that eliminates or minimizes the impact on adjacent properties. All downspouts are to be positioned to direct water away from the house to streets or drainage swales.

All grading must comply with the City of Calgary Surface Drainage Bylaw and a site plan indicating the lot grading is to be submitted with the Final Approval.

Minimum standards for the grading requirements are as follows:

- House designs are to suit lot grading and lot slopes
- All lot grades must adhere to engineering grade plan
- Suitable drainage patterns are to be established on all lots at the time of house siting
- Grading and drainage patterns must coordinate with adjacent lots – no drainage across adjacent lots can occur
- Minimum permitted slopes – all grassed/landscaped areas – 2%
- Maximum recommended slopes –
 - Front and rear yards - 20%
 - Sideyards – 33%
 - Driveways – 10%

NOTE: Maximum permitted slope on any portion of the lot is 33% (3:1). Slopes in excess of this will require retaining walls.



Special Requirements - Grading

Lot 1 – Back to front drainage – Lot is higher in the rear and will require that the design of the home accounts for this increase to the rear grade. Dropping of the garage, including rooflines, and front entrance area is to be addressed appropriately.

Lot 2 – Flat lot – no special grading requirements

Lot 3 – Transition lot – rear of lot permits a walk-out from the east side of the basement transitioning to a non walk-out on the west side. Wing walls may be required to manage the differential across the lot.

Lots 4 to 7 – Walk-out lots – Full walk-out basements are required on these lots. Grade differential from front to rear will require that all basements must be 11'-0" deep. Builder is responsible for any engineered specifications necessitated by this requirement.

Lot 8 – Transition lot – rear of lot permits a walk-out from the east side of the basement transitioning to a non walk-out on the west side. Wing walls may be required to manage the differential across the lot. Basement required to be 11'-0' deep.

Retaining Walls

The responsibility for all retaining walls on individual lots will be the responsibility of the builder. These responsibilities include:

- Failure to adhere to the building grade plan or approved grades may result in the need for a retaining wall.
- In areas where discrepancies in the grades have occurred between lots the builders involved must provide as built grades and a proposed solution to the developer and/or their consultant to approve prior to construction and resolution of the situation.
- The design of all retaining walls must be approved by the developer and/or their consultant prior to constructing the wall.
- Walls constructed in high profile locations are mandated to be designed using natural materials to the standard developers specification for Elveden Heights Estates.

Special Requirements – Retaining Walls

Lots 5 to 8 – The grade differential in the rear yard of these lots may be accommodated through the installation of one or more retaining walls across all or part of the width of the lot. The design and location of any or all walls is to be submitted for review with the Final Approval. The retaining wall design is to conform to the standard developers specifications for Elveden Heights Estates.

Garage Locations

Recommended locations for front drive garages have been determined on each of the lots and will be adhered to unless the design of the home and/or its relationship with adjacent homes warrants otherwise. A preliminary approval of concept or preliminary plans can confirm this location prior to finalizing any construction drawings.

NOTE: Lots 1 & 8 adjacent to Elveden Drive are permitted driveway access only from Elveden Heights, no side drive garages with access from Elveden Drive are permitted.

Driveways

Driveways throughout Elveden Heights Estates are to be minimized whenever possible and designed to enhance the overall residence. Finish materials for the driveway are to be a minimum of exposed aggregate with an 18” border of contrasting material or colour. Maximum slope for driveways is 10%. All driveway designs to be confirmed by the developer and/or its consultant.

BUILDING DESIGN ELEMENTS

Architectural Styles

The architectural styles promoted in Elveden Heights Estates will provide for a wide variety of choice to the homebuyer while creating an interesting and varied streetscape. Authentic detailing from the architectural styles will be appropriately mixed with today's highest quality materials and features to create unique and progressive elevations that will contribute to the distinction of Elveden Heights Estates. Homes may utilize characteristics of more than one architectural style if used in an appropriate, complementary manner.

Craftsman – an architectural style developed from the European Arts & Crafts style and made popular in North America in the early 1900's. Craftsman homes present a strong, stable personality through the embrace of distinct detailing, warm wood tones and earthy colours and materials. The common elements of a Craftsman home include:

- low-pitched rooflines
- wide unenclosed eave overhangs
- exposed roof rafters
- decorative beams or braces in gable ends
- full or partial porches with roofs supported by tapered, square columns extending to grade



Prairie – an architectural style developed in the late 19th and early 20th century in the Midwestern United States by a group of architects ultimately referred to as the Prairie School. The Prairie School promoted an embrace of hand craftsmanship and was intent on developing an indigenous North American style of architecture. Prairie style houses have strong characteristics of low horizontal lines and open interior spaces. The gently sloping roofs and low proportions are reminiscent of the landscape of the prairies. The common elements of the Prairie style include:

- low-pitched hipped rooflines
- wide overhanging eaves
- two storey elements with one storey wings or porches
- repetitive ribbon windows
- roof dormers
- large square porch supports
- façade detailing that emphasizes horizontal lines



Transitional – an architectural style characterized by simple form and the creation of interest through the structure of the building. The common elements of Transitional architecture may include:

- streamlined appearance
- low-pitched roofs
- clean lines
- simple ornamentation
- man-made materials such as metal and concrete
- emphasized vertical or horizontal lines
- no cornices or eaves
- large and numerous windows with aluminum and/or stainless steel window and door frames
- glass or metal balustrades



General Design

The expectation throughout Elveden Heights Estates Homes is that all homes will express an overall essence of quality in both the design of the home and the execution of the construction of the home. Home designs will be reviewed to ensure particular attention has been taken in the development of a well-detailed exterior. Such areas as roof forms, articulation of wall faces, window sizes and locations, appropriate material transitions and continuation of detailing features are to be addressed.

High Exposure Locations

Due to the highly exposed nature of all homes in Elveden Heights Estates, all homes are to incorporate an appropriate level of roofline variety, entry treatments, window treatments and decorative features on all elevations of the home.

Rear elevations in walk-out situations are to have considerable interest and articulation of the wall faces. Decks are to be incorporated into the overall design of the home to present a comprehensive and complete rear elevation.

All corner lots are considered to be the highest exposure and require special considerations. Corner lots homes will be required to include treatments that enhance the face such as jogs in the wall, box-outs and rooflines that provide a horizontal element or low profile. Similar treatments to those used on the front elevation are to continue the overall theme of the homes exterior along the flankage side elevation and the rear elevation.



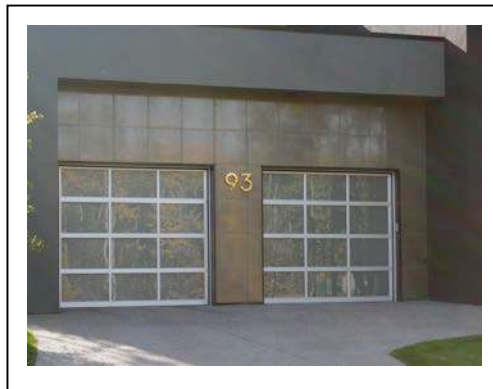
Variety/Repetition

All homes in Elveden Heights Estates are expected to be of a unique and distinctive design. No repetition of a similar exterior design will be permitted. If similar floor plans are proposed within Elveden Heights Estates builders will be required to submit an alternate elevation with significant variations in order to build within close proximity.

Garage Design

All homes in Elveden Heights Estates will require a front drive garage with the following minimum requirements:

- Garage size is to be a minimum of a double size garage (24' x 24').
- All front garages are to be designed to be an integral part of the overall design of the home with regards to style, proportions, detailing and door type.
- Front access garages must not extend more than 12' ahead of the front of the home and must not extend across more than 50% of the front elevation.
- Triple garage faces must be broken up with a minimum of a 2' offset of at least one bay.
- On all garages the overhead door height will be a maximum of 8'-0" unless the oversize door is removed from the front face of the garage by at least 10'.
- The space above the garage door is to be maintained at a distance not greater than 24" from the top of the door to the underside of the soffit above unless suitable detailing or treatments allow for larger spacing.
- If garage roof is required to be dropped due to grading or house design, upper floor windows may have to be deepened or other treatment added to fill the spaces above.
- To ensure total integration with the overall house design all garage doors must be painted to match the house colour, the predominant accent / trim colour or be stained to complement other details.



Exterior Details & Features

Throughout Elveden Heights Estates the emphasis will be on the design and execution of well-detailed exteriors. To ensure that the design provides the basis for an exceptional execution of an exterior the following elements are to be addressed:

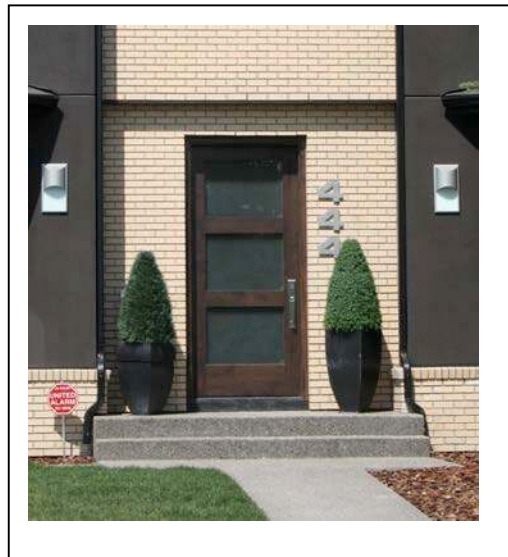
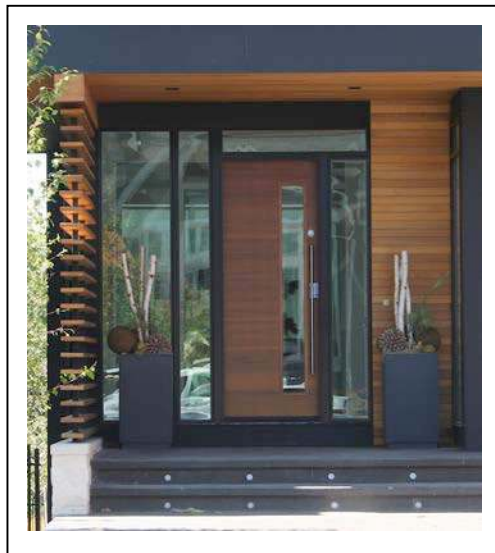
- Details or materials are to terminate in appropriate locations. When possible details or materials are to return around corners to a finishing point or a minimum of 24".
- All columns are to be of a design suitable to the architectural style and must be a minimum of 12"x12" in size unless suited otherwise.
- Battens, including shadowboards are to be a minimum of 8" unless spacing does not permit or size is suited to design.
- Trim material is to be Smartboard or equivalent product.
- Parging is to be minimized on all elevations with front elevations not to have more than 8" of exposed parging above landscape grade. On corner lots the parging on side elevations must not exceed 2 feet through the entire length of the flankage side of the lot. All homes are to be completed with smooth acrylic parging. The use of California style stucco parging will not be permitted.



Main Entrance

The main entrance of the home should create a welcoming environment and be a prominent feature on the front façade of the home. Ensuring that front entrances present themselves to the street in some manner is a critical aspect of a homes design. Some elements to consider when designing the front entry are:

- The entrance design should represent the architectural style and be properly proportioned to the overall massing of the home.
- Front porches are encouraged wherever suited to the architectural style of a home.
- Transitional style exteriors are encouraged to incorporate stylized porches finished in smooth or exposed aggregate concrete with nosings. Railings to be metal, glass or no railings.
- Front porches and all front entrances must feature solid risers with nosings on the stairs leading to them and must be finished and stained or painted to match the approved colour scheme of the home.
- The bases of all porches are to be finished in solid material and must not include filler panels of lattice.
- The front door design is to suit the architectural style of the home.



Roofs

Roof forms are a key element in defining an architectural style and are predominant features of each of the preferred architectural styles in Elveden Heights Estates. Utilizing a variety of roof heights and other architectural features such as dormers and broken up ridgelines will enhance each homes street presence. Elements to consider when designing the roof form of the homes are:

- Roof pitches are to be suitable to the architectural style.
- Roof pitches are to be consistent on any one elevation unless the style warrants otherwise.
- Roof overhangs are to be a minimum of 2'-0" unless the style warrants less.
- Lower massed homes (i.e.: bungalows or bi-levels) should consider higher pitched roof forms to provide greater presence in the streetscape.
- The use of dormers and other roofline elements are encouraged on their appropriate styles.
- The garage roof is to be dropped if necessary due to grades or design.
- Natural wood soffit materials will be encouraged for the front elevation of all homes.
- All open gables should receive special attention with shadow boards or other suitable treatments.

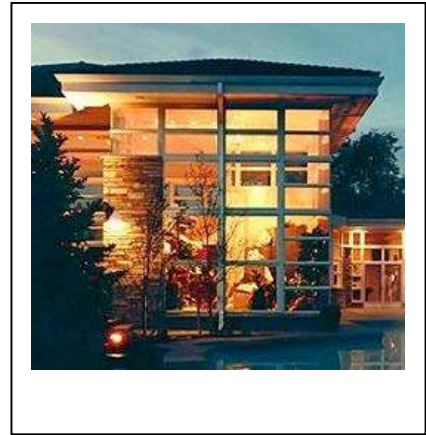


Windows

The window sizes, shapes and types available today provide a great source of inspiration for the design of a homes exterior. Windows are a main design feature of today's home. Adapting the more traditional styles of Craftsman and Prairie with larger modernized versions of the multi paned windows typical of those styles adds a creative flair to the elevation and ultimately the community. Modern interpretations of window types for all architectural styles are available for use today. Design features to consider when choosing windows:

NOTE: Kolbe windows is the preferred window supplier using Heritage Series Kaycron prefinished wood or Ultra Series aluminium windows.

- All windows are to have prefinished metal clad finishes
- Windows are creatively suited to the architectural style
- Windows are well proportioned to suit the wall space available.
- Segmented windows, window grills or simulated divided lites are to be added when additional interest is required.
- Windows are trimmed out with battens, shutters or other details on all high exposure locations or enlarged to fully fill the space available.
- Additional windows may be required on high exposure elevations and all windows are to match those on the front elevation.
- Windows are to be deepened to fill the space above garage roofs if grading requires garage to be dropped.
- All windows are to be balanced sash.



EXTERIOR MATERIALS

To fully establish the exclusive nature of the homes in Elveden Heights Estates only high quality materials will be permitted on the exteriors of all homes. All materials must fully promote the overall architectural style of the home. The review of the exterior design, the materials and colours will be as a comprehensive effect and not as a collection of individual elements. Materials are to be used consistently on all four elevations.

Walls

- Walls
 - Siding – hardboard or cement board
 - Stucco – smooth sand finish or acrylic
- Panels, accent features – cement or hardboard, stucco or mirotech and crezone
- Masonry products - brick, stone, stonetile accents or an approved manufactured product
- Other materials will be considered on an as requested basis.

Roofing

- Asphalt Shingles – architectural style (30 or 40 year)

Trim

- Trims must be generally in keeping with the architectural style.
- Exterior trims to be considered are cement board, hardboard, stonetile accents or acrylic stucco.
- Aluminum soffit and rainwear in one colour will be accepted. However, the colour must complement the overall colour scheme of the home.
- Cedar or pine soffit is mandatory under all front entrances and covered verandahs & decks.
- Decorative treatments such as banding shall be returned around corners to a finishing point determined by the Architectural Consultant.

Masonry

- Masonry finishes and features are to be designed as an integral part of the overall exterior.
- Masonry should be present on each side of the home that has significant exposure to view.
- Acceptable masonry facing materials include natural or cultured stone, brick in solid colours and stonetile accents.
- All masonry is to be returned a minimum of 24” around all corners

COLOURS

To ensure that Elveden Heights Estates presents an interesting and sophisticated environment a variety of compatible exterior colours will be encouraged. The focus will be on well-coordinated, attractive colour schemes that enhance the architectural style and contribute to a harmonizing streetscape.

Repetition

Repetition of an overall colour scheme will be avoided throughout Elveden Heights Estates. Repetition of individual colours will be at the discretion of the architectural consultant based on variety provided by the overall home style or detailing.

Roofing

Throughout Elveden Heights Estates asphalt shingles in darker shades of brown, grey and black will be encouraged. Lighter roof tones will be permitted only if suited to the architectural style and the overall colour scheme.

Wall colours

A wide variety of wall colours will be permitted in Elveden Heights Estates, colours that fully enhance the architectural style of the home are paramount. Strong, darker wall colours will be encouraged.

Trims

Aluminum soffit and rainwear in one colour will be accepted. However, the colour must complement the overall colour scheme of the home. The use of any strong, brighter colours will be limited to small accent areas only.

Garage Doors

To ensure the garage is an integral part of the overall design of the home the colour of the garage door must match the main house colour, the trim colour or may be a complementary wood stain provided there are other wood accents on the home (ie – wood beams, brackets, front door).

LANDSCAPING

To ensure the completion of Elveden Heights Estates fulfills the developer's vision of an upscale, estate enclave of homes all lots will be required to have the entire lot landscaped along with the completion of the home. The following minimum requirements must be adhered to:

- All areas that are not hard surfaced or designed as permanent shrub or flowerbeds are to be sodded.
- A minimum of 3 trees are to be planted in the front yard. 2/3 of all trees are to be coniferous trees to a minimum height of 2.0 M. All deciduous trees are to be a minimum of 85 mm caliper.
- A minimum of 10 shrubs are to be planted in the front yard.
- All trees and plantings are to be nursery grown.
- The above minimum requirements must be completed within the first full growing season.

NOTE: Lots 3-8 have an overland drainage easement at the rear of the lots. This easement is registered on title and must be maintained accordingly.

Fencing

All property line fencing in Elveden Heights Estates will be either black wrought iron or black clad chain link. Solid screen fencing is permissible within the lot adjacent to privacy areas only.

MISCELLANEOUS INFORMATION

Security Deposit

An architectural/construction compliance security deposit of \$15,000.00 is required on all lots and will be paid to RockBoss Developments prior to a request for approval or grade slip release in accordance with the terms of the purchase and sale agreement. Deposits will be held until all final inspections are completed and total compliance with all architectural and landscaping requirements is determined.

Discretion

Notwithstanding anything else set out in these guidelines, the Developer, RockBoss Development and Evans 2 Design Group's Architectural Coordinators may apply their respective judgments when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the Architectural Coordinator may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

Enforcement

The Developer only may enforce the guidelines. No purchaser of any lot in the development may enforce these guidelines.

Amendments

The developer may from time to time amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

PROCESS OF APPROVAL

Lot Inspection

The developer requires that the builder must submit the following prior to lot stake out approval.

- Inspection report – prior to construction the builder must inspect the lot and all services and report any and all damages or discrepancies to the developer. Photos of all damages including sidewalks and curbs are to be included.
- The Damage/Security deposit or Letter of credit for each lot.

Architectural Approval

Architectural Approvals will be administered through the consultants StreetscapePlus online submission program. Set-up and access instructions will be provided to purchasers upon notification from RockBoss Developments. The Purchaser may submit the following to the Architectural Committee for a Preliminary review:

- floor plan sketches showing all exterior dimensions or drawn to scale
- front elevation and all exposed elevations (in the case of corner lots or lots exposed to open spaces)
- materials and colours selections
- Plans must clearly identify the architectural style being represented

This information will be reviewed and returned along with design comments, suggested revisions, material and colour comments and siting requirements.

The purchaser is to fully review all preliminary information supplied and complete the final working drawings and final submission information prior to proceeding with final approval.

Final Approval

The Purchaser shall submit the following to the Architectural Consultant for final approval:

- scaled professionally drawn working drawings in dwg format
- floor plans
- foundation plans
- cross sections - complete with all dimensions from subfloors to footings and subfloors to front and rear grades
- four elevations - complete with all exterior materials clearly noted
- Plot Plan complete with proposed grades - drawn at 1:200 scale
- Final Approval Form - completed with materials and colours

NOTE: Upon return of “the Architectural Approval” the Purchaser is responsible for checking all information including the approved plans, plot plans, grades and final approval form and contacting the consultant with any concerns or discrepancies.

Revisions

The Purchaser shall contact the Architectural Consultant in writing and obtain written approval for any revisions to the approval before the revisions are applied. Charges for revisions after Final Approval are subject to a fee charged directly to the builder/purchaser.

Building Permit

The purchaser or agent will be permitted to apply for a building permit from the appropriate authority once the Final Approval has been granted.

Final lot Inspection

Upon completion of the construction of the house, all required landscaping and the completion of the driveway, the purchaser or agent is to submit an inspection request along with an approved, stamped, grading certificate from the City of Calgary to the consultant to initiate a Final Inspection.

CONTACTS**Developer**

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