

## Schedule "A" Architectural Design Guidelines

The following is intended as a guide. All must be approved by **F.M.I. Developments Ltd.**,

# MOUNTAIN PINE ESTATES

*These architectural controls have been kept in a simple form and the Mountain Pine Estates 'Architectural Design Approval Committee' and the individual lot owners will review each project as a group as it is submitted. The ideas set out below are left for your interpretation, and the Architectural Design Approval Committee will review and submit comments to help move the process along as efficiently as possible. The meetings will be held bi-weekly during the building commitment time duration and monthly thereafter as needed.*

## INTRODUCTION

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The architectural controls for *Mountain Pine Estates* have been established to combine beautiful architecture with estate country surroundings. The beautiful landscaped estate lots and pure architectural styles should compliment neighboring developments. Amazing views of the Rockies and beautiful common area landscaping have created highly desirable of home sites for the new residences of *Mountain Pine Estates*.

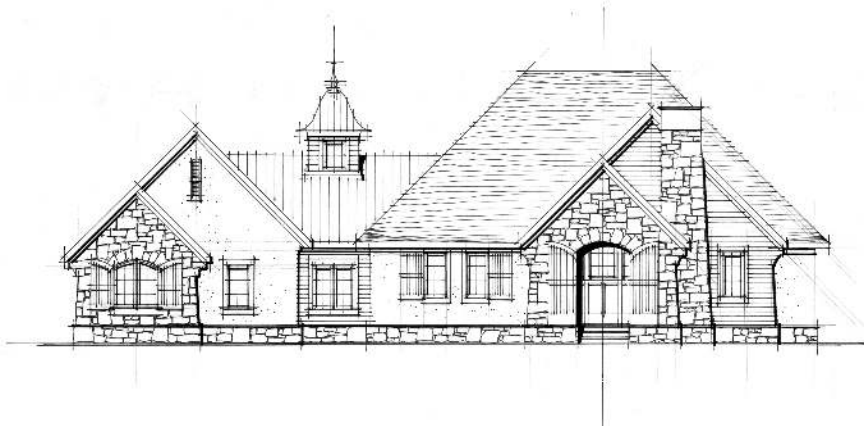
## STYLES

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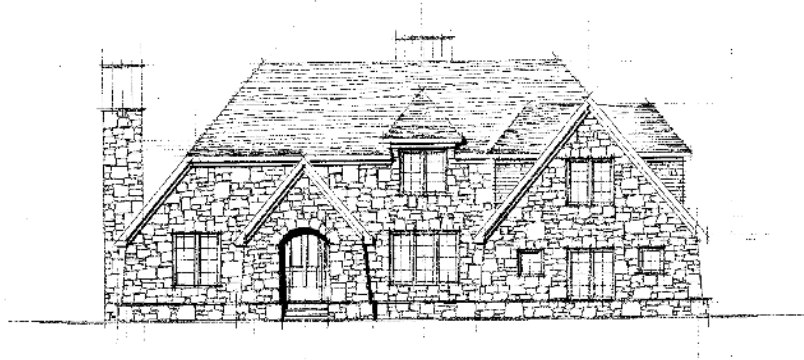
The architectural styles proposed for the community are French Country, Prairie, Tudor, Arts and Crafts and Craftsman. These styles will enhance the neighborhood and compliment the landscaped surroundings.

French Country: Simple and strong proportions are the essence of the French Country style. Steeply pitched roof lines, dormered and partial upper floors incorporated into the roof line are the basis of French Country. Casement windows and a strong base enhance the elegant lines of French country. Timber detailing of the decking, with shingled dormers and combinations of materials, such as wood siding and acrylic stucco are all elements that combine to create a style that has a timeless classic elegance.

Sample 1: French Country

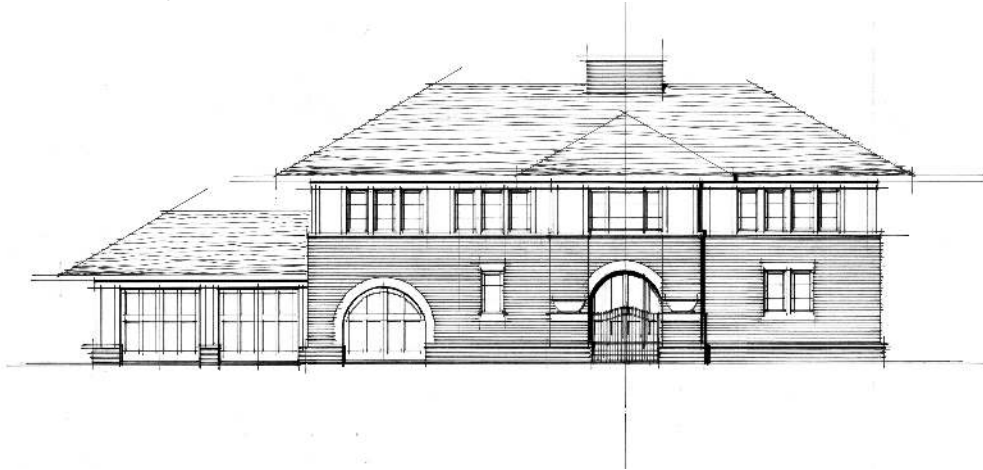


Sample 2: French Country

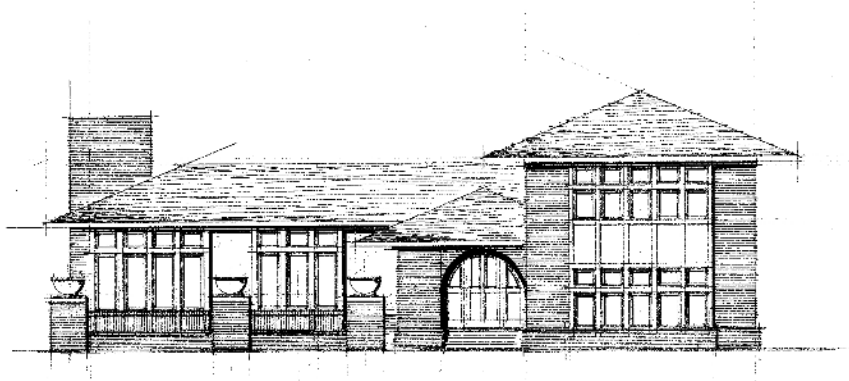


Prairie: Simply described - "form and function are one" is the true statement to Frank Lloyd Wright and the prairie style. The traditional prairie style consists of low slope roof lines and overhangs ranging from three to four and a half feet. Strong vertical and horizontal elements and finishes in brick and stucco are typical for the exterior. Strong banding with windows and geometric shapes are other characteristics to incorporate into the style.

Sample 1: Prairie Style

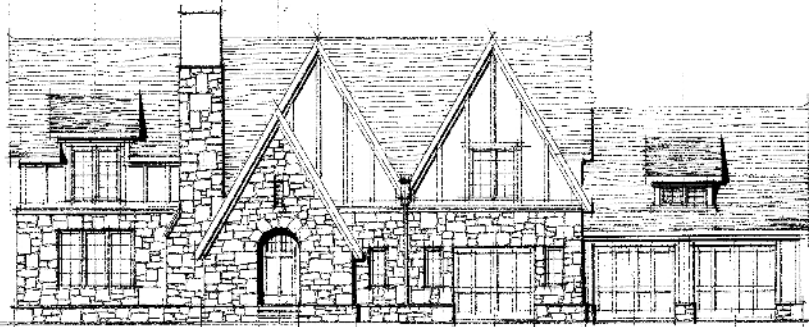


Sample 2: Prairie Style



Tudor Style: The Tudor style encompasses Jacobean and Elizabethan architecture. Steeply pitched roofs, multiple front gables, stucco and masonry cladding and prominent chimneys define the Tudor style. All timbering forming a part of a Tudor homes should be designed to look structural.

## Sample 1: Tudor Style



NOTE: Although these three styles have been treated as the focus, Arts and Crafts (Shingle), and Craftsman may also be considered for this community. Each lot will be reviewed on an individual basis, and if a designer would like to have a pre-concept meeting to discuss other style options, these meetings are encouraged.

## **BUILDING FORMS**

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Bungalows: Minimum 2500 square feet on the main floor.

Two-storey and Split-levels: Minimum 3000 square feet on both floors.

One and one half stories: Minimum 2000 square feet on the main floor.

The intent of the minimum square footages is to create homes that are consistent in size and massing.

## **SETBACKS**

Side yards are 8.0 meters or 26.2 feet

Rear yards are 15 meters or 49.2 feet

Front yards are 15 meters or 49.2 feet

### BUILDING HEIGHT

Eave heights are set to 23 feet on walkout elements from grade level.

Maximum ridge heights are 32.8 feet.

This maximum height is calculated as an average of heights from all elevations.

### HOUSE FORMS

Each home will be reviewed on an individual basis, and these submissions should all be designed with uniqueness and custom home design criteria in mind. It is required that each property have a home that has an individual, custom nature. Exterior designs should all appear to be one of a kind. Repetition of home designs in this community will not occur.

Each lot is unique in its own form and grading, and as a result these lots should be examined as to what aspects should be enhanced on each lot. View lines, sun patterns and wind should all be taken into consideration when designing a home on the lot. Each home should feel as if it fits naturally into the contours of the lot and the community as a whole.

### PROPORTION

- Examples of the styles have been provided and should be simple to recreate to each designer's own interpretation.
- Simple roof lines and elegant finishes are required for all designs.
- False dormers and false louvers are discouraged.
- Wood clad looking garage doors are also a requirement with all garages.
- Each home should have a dominant base, to give the home a feeling of being anchored to the ground.
- Outdoor spaces are encouraged, including screened in porches, covered decks, terraces and courtyards.
- Privacy walls are allowed and must tie into the design of the home.
- A strong front entry is required, but two storey entries are not allowed.

- Front entry doors are to be a minimum of 3 foot 6 inches wide.
- Windows and doors must be designed on a grid or with a centerline in mind, and should have logic with their placement.
- Only simulated divided grilles are allowed, at ¾” in thickness minimum, and metal grilles between the glass will not be permitted.
- All windows will have a 3” minimum trim. A 2” brick mould may be considered for stone areas, etc.
- All windows must be approved by the developer.
- Stucco battens are not allowed.
- Retaining walls must be of stone to tie into the already existing landscape stones in the community.

#### GARAGES AND DRIVEWAYS

The placement of garages and driveways has not been indicated on the site plans and will be left to the discretion of the Approval Committee. With three car garages only three separate doors will be allowed, no double garage doors or over height garage doors are allowed. Up to 10 foot wide by 9 foot high garage doors are allowed. The panels that are incorporated into the garage door should take into consideration the style of the home and the configuration of the windows and their grilles.

Driveways are allowed to be exposed aggregate with stamped concrete borders, or interlocking brick. Asphalt is allowed with a concrete apron. Steps are to be cast-in-place with brick, slate, flagstone, or exposed aggregate.

#### CHIMNEYS

Fireplaces and chimneys are to be important features in the design of the homes. Indoor and outdoor fireplaces should have proper proportion and should be anchored to the ground, no cantilevering is allowed. When a direct vent fireplace is used the vent must be located on a wall that is not exposed to the street or any highly visible areas in the community and must be concealed as much as possible.

## **EXTERIOR MATERIALS AND FINISHES**

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### ACCEPTABLE MATERIALS

#### Exterior finishes

- Acrylic stucco is acceptable.
- Natural stone is acceptable.
- Wood shingles and siding is acceptable.
- There must be a percentage of rock on house fronts and wrapped.
- No rock may be suspended.

#### Fascia

- 8" minimum painted board fascia and double fascia on gables is required.

#### Columns

- All columns are to be a minimum of 12" and may be paneled or solid wood such as cedar or fir.

#### Roof shingles

- Asphalt shingles (with a 30 or 40 year warranty) are acceptable.
- Cedar shingles are acceptable.
- Slate is acceptable.
- Certain concrete tile is acceptable.

#### Garages

- Attached is acceptable. Quality decorative, composite, wood clad garage doors shall be required. A 9.1m or 30 ft, turnaround allowance must be provided.

#### Railings

- Railings must be iron.

- Seamless glass (such as Falcon Railing Systems) may be permitted.

## UNACCEPTABLE MATERIALS

### Exterior finishes

- Vinyl siding is not acceptable.
- River rock is not acceptable.
- Steel Garage doors are not acceptable.
- No cultured stone
- Only natural stone – veneer with proper corners or full bed stone will be permitted.

## COLOUR

Color boards will be required with the submission and careful consideration should be taken to make sure that the selections of the exterior colors will enhance the design and work with the style of the home. Earth tones are recommended for the body of the homes with accent colors to be carefully selected to compliment the main body color, interesting colors can be used as an accent and will be left to the discretion of the review board.

## **LANDSCAPING & SITE FEATURES**

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A landscape plan must be submitted prior to construction and approved by the architectural review board.

- Landscape lawns limited to site development envelope.
- Plantings in transition areas outside of site development will need to be approved by the developer.
- Plants should be organized in groupings rather than individually or in straight lines.
- Site grading should create runoff beneficial to current and future plantings.
- Use of hard landscaping material should be minimized. Use of natural stone instead of concrete and asphalt is encouraged.



- Natural stone retaining

Site features may include:

- Courtyards, terraces and decks. Terraces should be built of stone or brick and conform to existing terrain as much as possible. Ground level terraces or patios are preferable to above ground decks. If above ground decks are necessary, they must be framed substantially. A stone faced foundation is recommended. Retaining walls must be stone.
- Privacy walls and fencing shall only be allowed at the discretion of the developer.
- Arbors and trellises are allowed.
- Swimming pools and spas are allowed if approved by the developer. Pools and spas must be hidden with generous landscape plantings or trees.
- Sport courts and play structures are allowed if approved by the developer and Rockyview County. They should not be visible from the roadway.
- Barbeque areas are allowed.
- Outdoor lighting: Exterior fixtures must not intrude directly onto the street or neighboring properties. They must not produce excessive glare. Soffit lights shall only be permitted on entrances. Walks and drives to have down lights only provided by ground mounted fixtures 0.45m (18 inches) or less from the ground.
- Satellite dishes, so long as (i) the same are a maximum of 0.65m (25 inches) and (ii) installed in a location as unobtrusive as possible.

## GRADING AND DRAINAGE

Natural drainage patterns need to be maintained wherever possible.

Wholesale grading to create flat sites is not permitted.

Grading, where needed, shall be limited to site the site development envelope.

Slopes steeper than 3:1 are not permitted.

Erosion must be prevented during construction using temporary barriers and drainage structures.

## LIGHTING

- Exterior lighting must be of low impact to both the neighbors and the street.
- Satellite dishes are to be located as to be not visible from the street or public areas.
- Flood lights are not allowed.

## GARBAGE STORAGE

Garbage is to be stored in the garage or similar and shall not be placed on the street or stored outside except for 12 hours prior to pickup.

## PANELS AND METERS

Exterior panels and meters must be indicated on the plans at the final design review stage and must be located to be as unobtrusive as possible

## **ARCHITECTURAL APPROVALS**

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Architectural approvals will be done with the established review committee. Plans will be reviewed in three different stages:

- 1 - CONCEPT REVIEW,
- 2 - FINAL DESIGN REVIEW, and
- 3 - WORKING DRAWINGS REVIEW.

### CONCEPT REVIEW

- Completed concept design review form.
- Completed concept design showing all elevations.
- Completed concept design showing all floor plans.
- Conceptual site/landscape plan with the information listed on application form.
- Proposed grading and drainage and top of subfloor.
- Perspective sketch may be required.

### FINAL DESIGN REVIEW

- Completed final design review form.
- Drawings of the final floor plans.
- Drawings of the final elevations.
- Finalized site plan with all information listed.

- Landscaping plan.
- Perspective sketch may be required.

#### WORKING DRAWING REVIEW

- Completed working drawing review form.
- At this stage, a **\$15,000.00 construction compliance deposit** will be paid by the lot owner to the developer's lawyer in trust.
- At this stage **another \$5,000.00 landscape compliance deposit** will be paid by the lot owner to the developer's lawyer in trust.
- The lot owner will receive both compliance deposits back upon the completion of the home and upon the completion of the landscaping if the owner has complied with all of the architectural and landscape guidelines of Mountain Pine Estates.
- Builders certificate of insurance.
- Updated site plan with all information listed on application form.
- Constructions Drawings.
- Completed exterior color selection and materials form.

ANY SUBMISSION THAT REQUIRES MORE THAN THREE REVIEWS MAY BE CHARGED FOR THE TIME INCURRED, DUE TO THE AMOUNT OF TIME THAT WILL BE REQUIRED TO REVIEW THAT PROJECT.

# MOUNTAIN PINE ESTATES

## CONCEPT DESIGN REVIEW FORM

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Date: \_\_\_\_\_ Lot: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Architect/Designer: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Builder: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Information that must be included for concept review application:

- 🍏 Conceptual Site/Landscape Plan at 1:200 showing property lines, setbacks, all proposed building, driveways, walks, patios, decks, any proposed retaining walls and any outdoor features and existing vegetation. Site plans to include grades of lot four corner points, centre grade and contour of elevations.
- 🍏 Proposed grading with drainage plan and top of sub floor elevation.
- 🍏 Schematic Floor Plans for all levels (minimum scale 1/8"=1'0") – 3 copies.
- 🍏 Schematic Elevations for all four sides (minimum scale 1/8"=1'0" – 3 copies.
- 🍏 Perspective Sketch of the most prominent view.
- 🍏 If requested by the Architectural Design Review Committee, additional perspective sketches may be required.

Plans should be submitted in the form of CADD Drawings.

Submittal Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_

Submitted By: \_\_\_\_\_

Additional Comments: \_\_\_\_\_

# MOUNTAIN PINE ESTATES

## FINAL DESIGN REVIEW FORM

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Date: \_\_\_\_\_ Lot: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Architect/Designer: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Builder: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Information that must be included for final design review application:

- 🍏 Conceptual Site/Landscape Plan at 1:200 showing property lines, setbacks, all proposed building, driveways, walks, patios, decks, any proposed retaining walls and any outdoor features and existing vegetation. Site plans to include grades of lot four corner points, centre grade and contour of elevations.
- 🍏 Proposed grading with drainage plan and top of sub floor elevation.
- 🍏 Schematic Floor Plans for all levels (minimum scale 1/8"=1'0") – 3 copies.
- 🍏 Schematic Elevations for all four sides (minimum scale 1/8"=1'0" – 3 copies.
- 🍏 Perspective Sketch of the most prominent view.
- 🍏 If requested by the Architectural Design Review Committee, additional perspective sketches may be required.

Plans should be submitted in the form of CADD Drawings.

Submittal Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_

Submitted By: \_\_\_\_\_

Additional Comments:

# MOUNTAIN PINE ESTATES

## WORKING DRAWINGS REVIEW FORM

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Date: \_\_\_\_\_ Lot: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Architect/Designer: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Builder: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Information/items that must be included for working drawings review application:

- 🍏 Updated Site plan showing all final grading, spot elevations at building corner points, proposed top of footing and top of joist elevations.
- 🍏 Completed set of full Construction Drawings complete with all Specifications.
- 🍏 Plans should show any changes completed due to the first two stages of Design Review, all finish materials and height calculations on all four sides.
- 🍏 \$15,000.00 construction compliance deposit
- 🍏 \$5,000 landscape compliance deposit
- 🍏 Builder's Certificate of Insurance
- 🍏 Completed Exterior Colors and Materials form.

Submittal Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_

Submitted By: \_\_\_\_\_

Additional Comments:

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# MOUNTAIN PINE ESTATES

## PROPOSED EXTERIOR COLOURS AND MATERIALS FORM

<b>Building Surface</b>	<b>Material</b>	<b>Manufacturer</b>	<b>Color</b>
Roof Surface			
Primary Wall Surface			
Secondary Wall Surface			
Foundation			
Trim			
Window Frames			
Window Trim			
Chimney			
Soffit			
Fascia			
Eaves Trough			
Rainwater Leaders			
Porch/Deck Surface			
Railings			
House Doors			
Garage Doors			
Driveways			